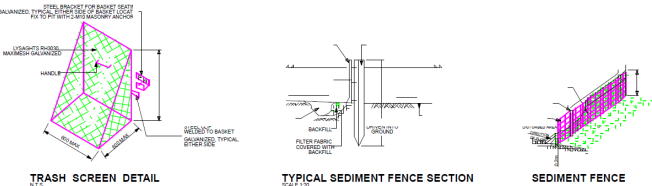


Sheet List	
Sheet Number	Sheet Name
A01	COVER SHEET
A02	SITE PLAN
A03	GROUND FLOOR
A04	ROOF
A05	ELEVATIONS 1
A06	ELEVATION 2 & SCHEDULE OF FINISHES
A07	ELEVATIONS 3 & BASIX
A08	SECTIONS & SCHEDULES

SEDIMENT CONTROL NOTES

1. All erosion and sediment control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of Soil Conservation of NSW.
2. All drainage works shall be constructed and stabilised as early as possible during construction.
3. Sediment traps shall be constructed and stabilised as early as possible 450mm wide by 450mm deep trench.
4. All sediment basins and traps shall be cleaned when structures are a maximum of 60% full of soil materials, including the maintenance period.
5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
6. Soil and topsoil stockpiles shall be located away from drainage lines and areas where water may congregate.
7. Filter shall be constructed by stretching a filter fabric (propex or approved equivalent) between posts at 3.0m centres. Fabric shall be buried 150mm along its lower edge.
8. Refer to concept stormwater engineering for clarity and structure details.



FOR DA APPROVAL

14 REDMAN STREET, CANTERBURY NSW 2193
LOT 25, SEC C, DP 4645
SECONDARY DWELLING & GARAGE
FOR MRS LEY LIM
FOR DA APPROVAL
LGA: CANTERBURY BANKSTOWN COUNCIL

SECONDARY DWELLING COMPLIANCE TABLE - CB DCP Section 7 / SEPP Housing Code 2021			
Item	Requirement	Compliance	Comments
Lot Size (m2)	NA	423.7	Complies- CBC Allows sites less than 450m2
Zoning	R2	R2	Complies
Frontage (building line), (m)	12	12.19	Complies
Storeys	1	1	Complies
Total Site Coverage (m2)	NA	215 (50.7%)	Complies - Max site coverage for sites less than 450m2 not provided.
Existing Site Coverage (m2)	-	112.5	Noted
Proposed Site Coverage (m2)	-	102.5	Noted
Total Floor Area (m2)	330	171.8	Complies
Floor Area Existing Dwelling (m2)	-	112.5	Noted
Proposed Granny Flat Area (m2)	60	59.3	Complies
Maximum Building Height (m)	8.5	3.35	Complies
Building Height (m)	3.8	3.35	Complies
GF Side Setback 1 (<3.8m high) (m)	0.9	0.9	Complies
GF Side Setback 2 (<3.8m high) (m)	0.9	2.752	Complies
GF Rear Setback (m)	3	3	Complies
Landscaped Area (@2.5m WIDTH) (m2)	84.74	97.7	Complies
Landscaped Area BBL (m2)	42.37	61.9	Complies
Private Open Space (6m x 4m wide) @ 1:50 Grade), (m2)	24	24	Complies

BASIX CALCULATIONS & COMMITMENTS - 1771954S, 07/11/2024

1. SHOWER HEADS MUST BE 4 STAR
2. TOILETS MUST BE 6 STAR.
3. KITCHEN TAPS MUST BE 6 STAR.
4. TAPS MUST BE 6 STAR.
5. RAINWATER TANK 2000L.
6. RWT TO COLLECT 50SQM OF ROOF AND CONNECT TO AN OUTDOOR TAP, LAUNDRY & TOILET.
7. WAFFLE POD SLAB
8. R3.0 BRICK VENEER EXTERNAL WALLS.+ REFLECTIVE FOIL + MEDIUM WALL COLOUR.
9. CAVITY BRICK - R1.2 FIBREGLOSS BATTS OR ROLL + MEDIUM COLOUR WALLS
10. R4 CEILING INSULATION. FOIL SISALATION IN ROOF / DARK COLOR ROOF.
11. CEILING FAN IN LIVING ROOM
12. ALUMINIUM EXTERNAL WINDOWS & DOORS - REFER TO SCHEDULE.
13. HOT WATER SYS: HEAT PUMP 41STC
14. DUCTED AC UNIT - 7.5 STARS
15. MECHANICAL VENTILATION DUCTED TO EAVE. MANUAL SWITCH ON AND OFF
16. ALL LIGHTS LED
17. KITCHEN WINDOW
18. OUTDOOR CLOTHES LINE
19. ELEC COOKTOP & ELEC OVEN

NOTES

1. ALL DIMENSIONS AND FLOOR AREAS ARE TO BE VERIFIED BY THE BUILDER AND A REGISTERED SURVEYOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES ARE TO BE CONFIRMED BY THE DESIGNER.
2. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.
3. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
4. ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK.
5. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
6. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.
7. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
8. ALL DEMOLITON AND REMOVAL WORK TO BE CARRIED OUT WITH APPROVED WASTE MANAGEMENT PLAN AND IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS & APPROVAL CONDITIONS.
9. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE F AUSTRALIA (BCA).
10. SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.



31B BUCKWALL AVENUE
GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED: *Nouhad Farah*

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	09/10/2024

CLIENT: MRS LEY LIM

14 REDMAN STREET, CANTERBURY - PROPOSED SECONDARY DWELLING & ATTACHED GARAGE

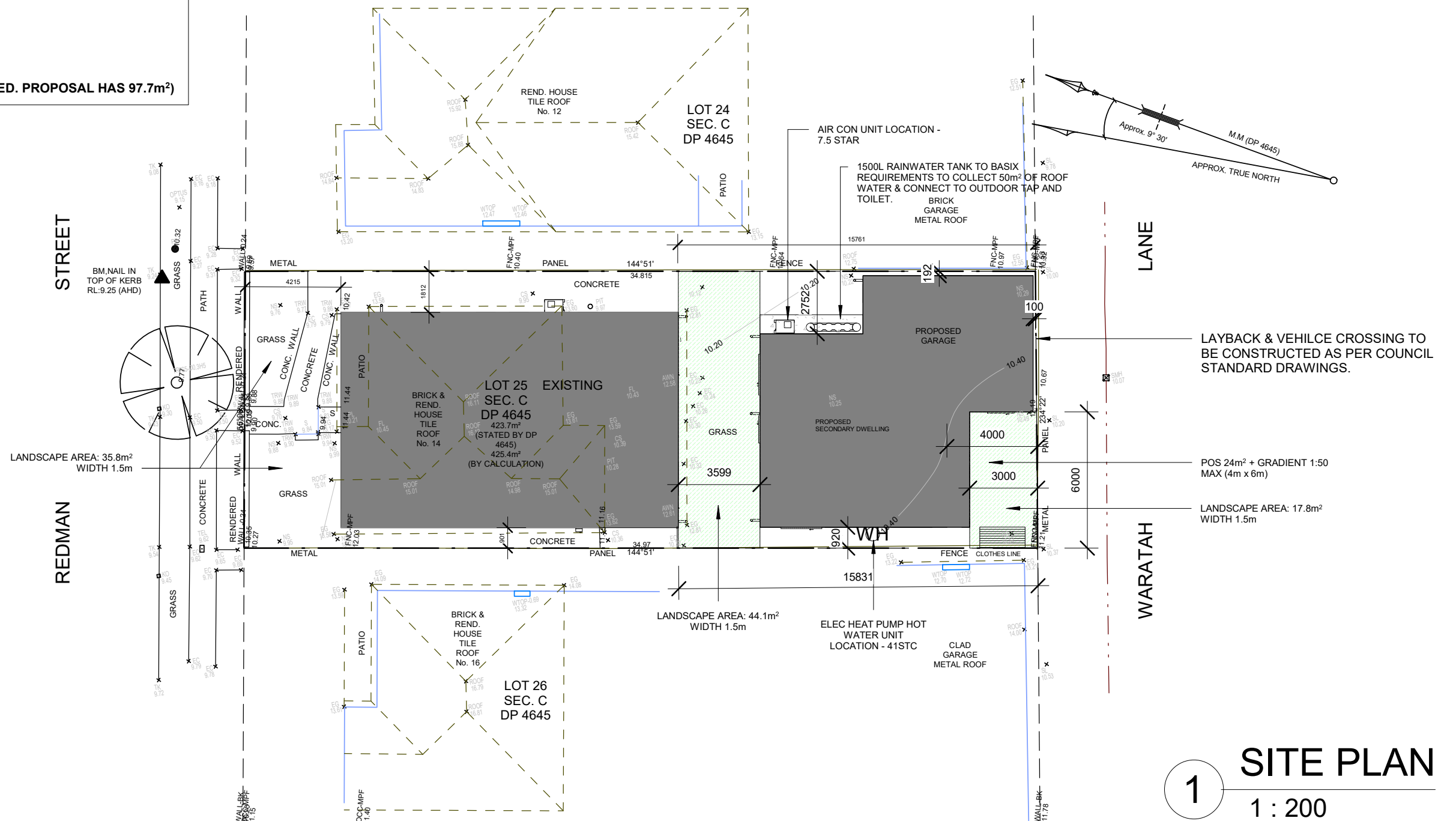
COVER SHEET

A01		NOTES: 1. Do not scale off this drawing. Use dimensions & architectural drawings only. 2. Drawings to be read in conjunction with specification. 3. Levels are indicative only and are to be checked. 4 Authorities mains and or existing services are to be located and checked prior to commencement of any works. 5. The information on this drawing is to be used for site hydraulic and or fire protection services only. 6. The information on this drawing remains the property Nouhad Farah reproduction of the whole or part of the document constitutes an infringement of copyright. 7. Completion of the quality record is evidence that the design and the drawing have been verified.
Scale	@ A3	
Project number	SYD24/636	
Date	09/10/2024	
Drawn by	NLCONS	
Checked by	N. FARAH	

SITE AREA: 425.4m²
REQUIRED LANDSCAPING DEEP SOIL ZONE: 15% OR 63.81m²
REQUIRED LANDSCAPING BEHIND BUILDING LINE (50%): 31.905m²
REQUIRED LANDSCAPING FORWARD OF BUILDING LINE: 25% AREA OR 13.1m²

LANDSCAPE FRONT OF BUILDING LINE: 35.8m²
LANDSCAPE REAR OF BUILDING LINE: 61.9m²
TOTAL LANDSCAPING PROVIDED: 97.7m²

DCP 15% (63.81m²) IN LANDSCAPE AREA REQUIRED. PROPOSAL HAS 97.7m²)



1 SITE PLAN

1 : 200

FOR DA APPROVAL



31B BUCKWALL AVENUE
GREENACRE, NSW 2190

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No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	09/10/2024

CLIENT: MRS LEY LIM

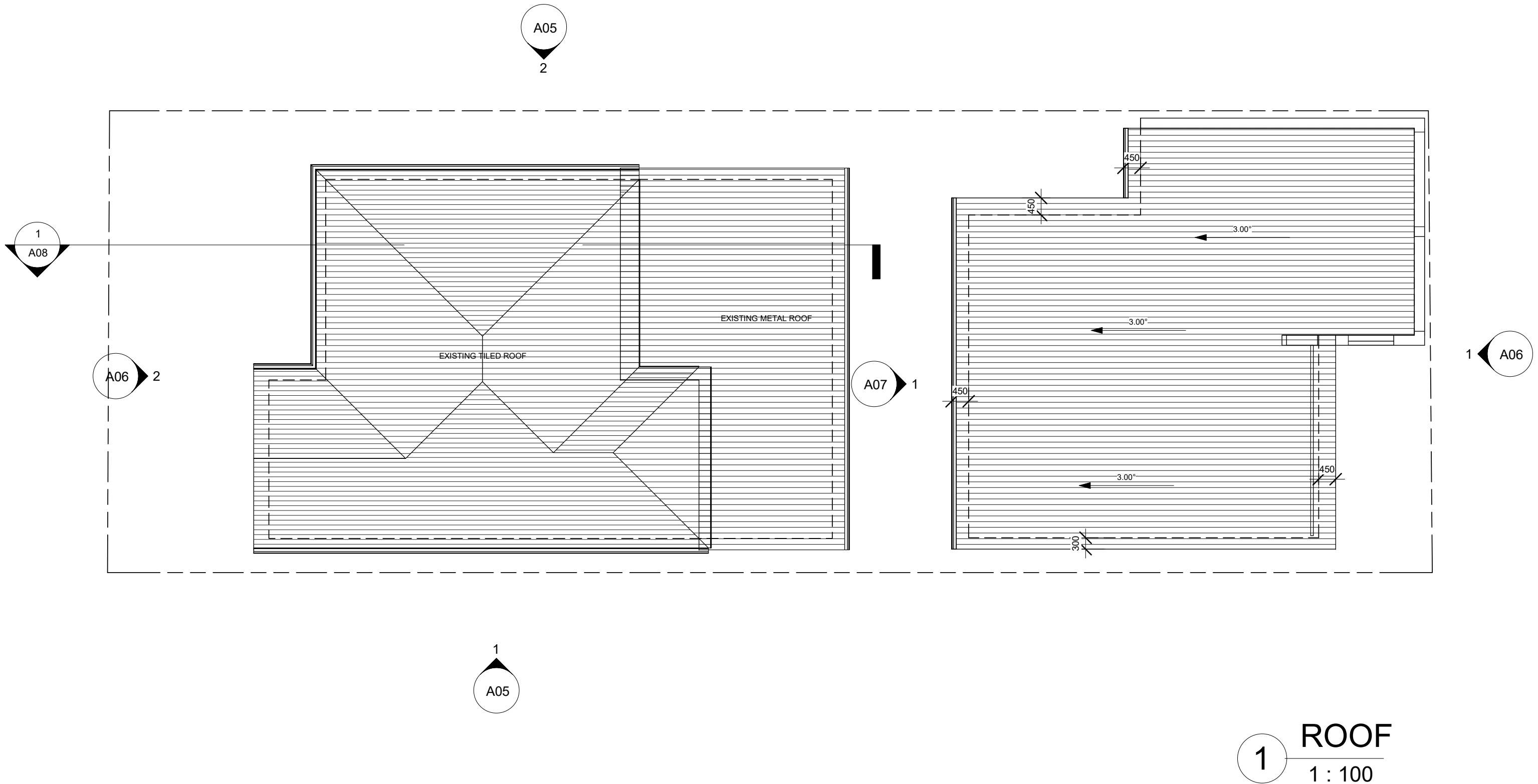
14 REDMAN STREET, CANTERBURY - PROPOSED
SECONDARY DWELLING & ATTACHED GARAGE

SITE PLAN

A02		
Scale	1 : 200	@ A3
Project number	SYD24/636	
Date	09/10/2024	
Drawn by	NL CONS	
Checked by	N. FARAH	

NOTES:

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FOR DA APPROVAL



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MEMBERSHIP NUMBER: 3312640

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1.0	ISSUE FOR DA APPROVAL	09/10/2024

CLIENT: MRS LEY LIM

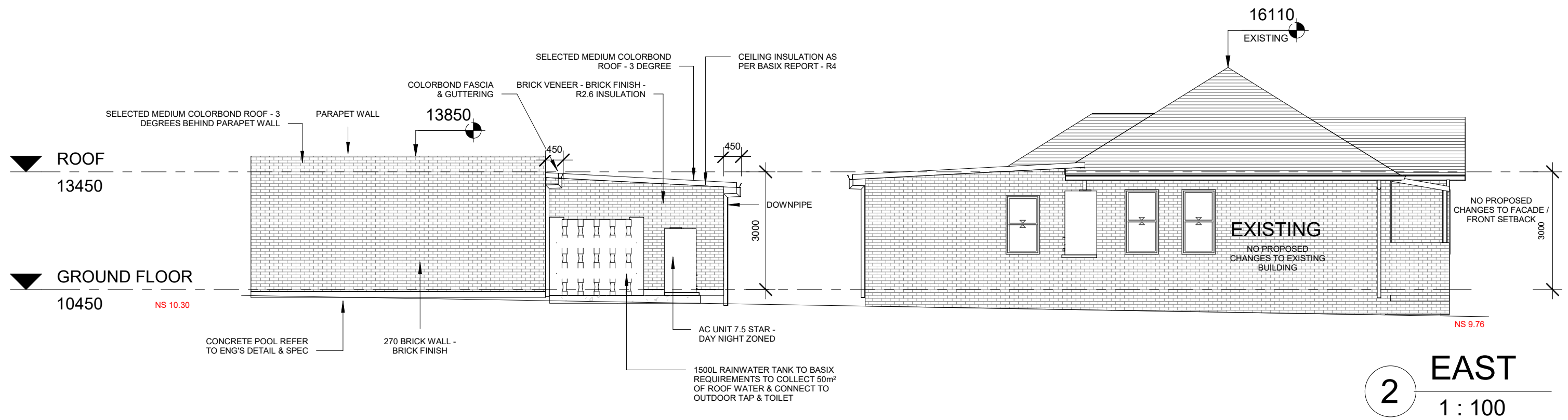
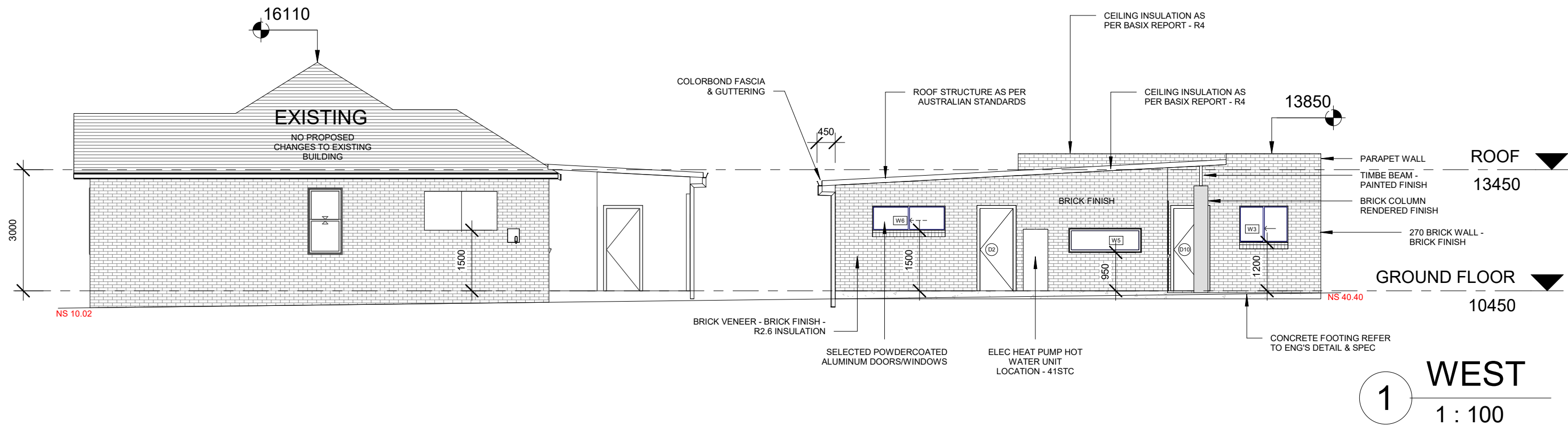
14 REDMAN STREET, CANTERBURY - PROPOSED
SECONDARY DWELLING & ATTACHED GARAGE

ROOF

A04		
Scale	1 : 100	@ A3
Project number	SYD24/636	
Date	09/10/2024	
Drawn by	NL CONS	
Checked by	N. FARAH	

NOTES:

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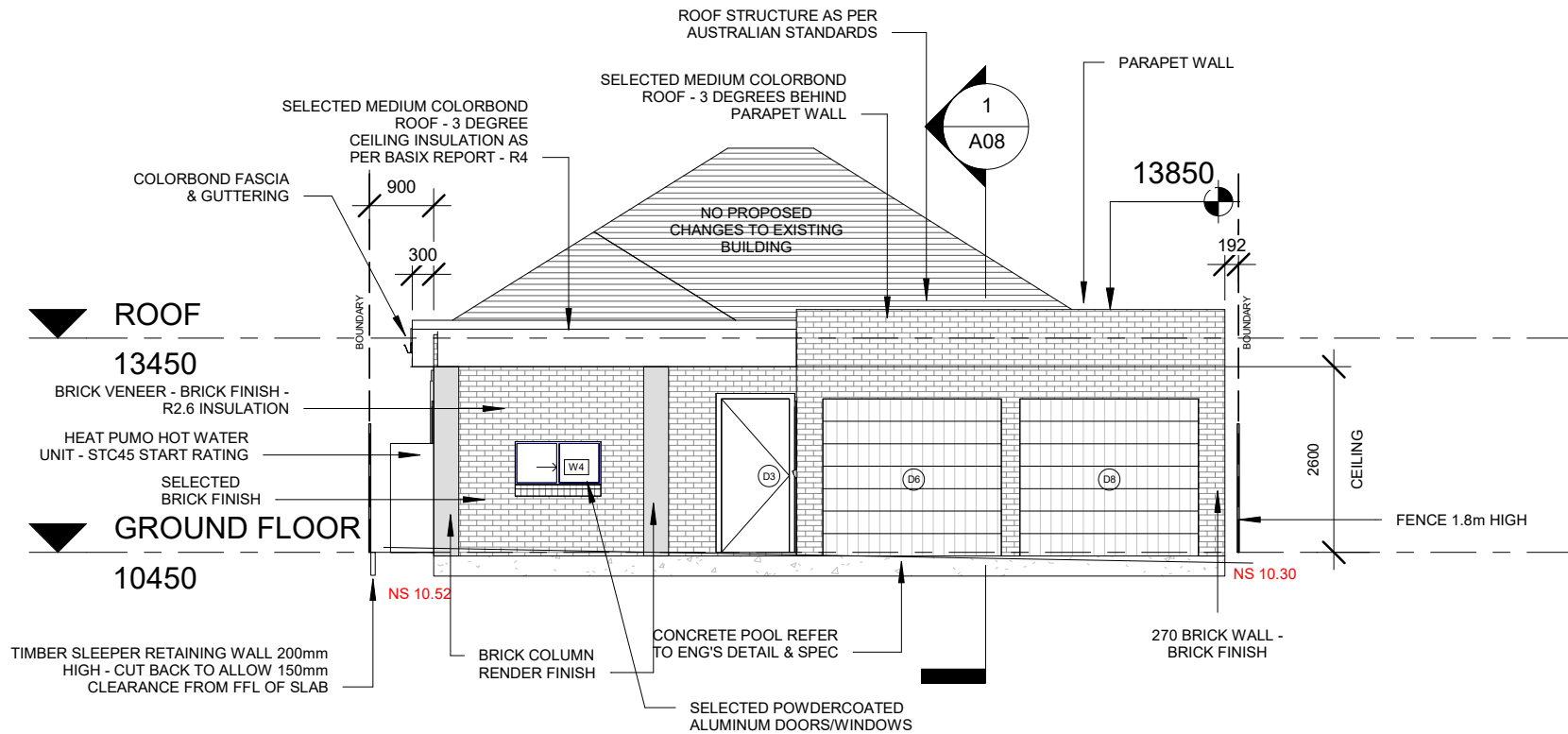
CLIENT: MRS LEY LIM

14 REDMAN STREET, CANTERBURY - PROPOSED
SECONDARY DWELLING & ATTACHED GARAGE

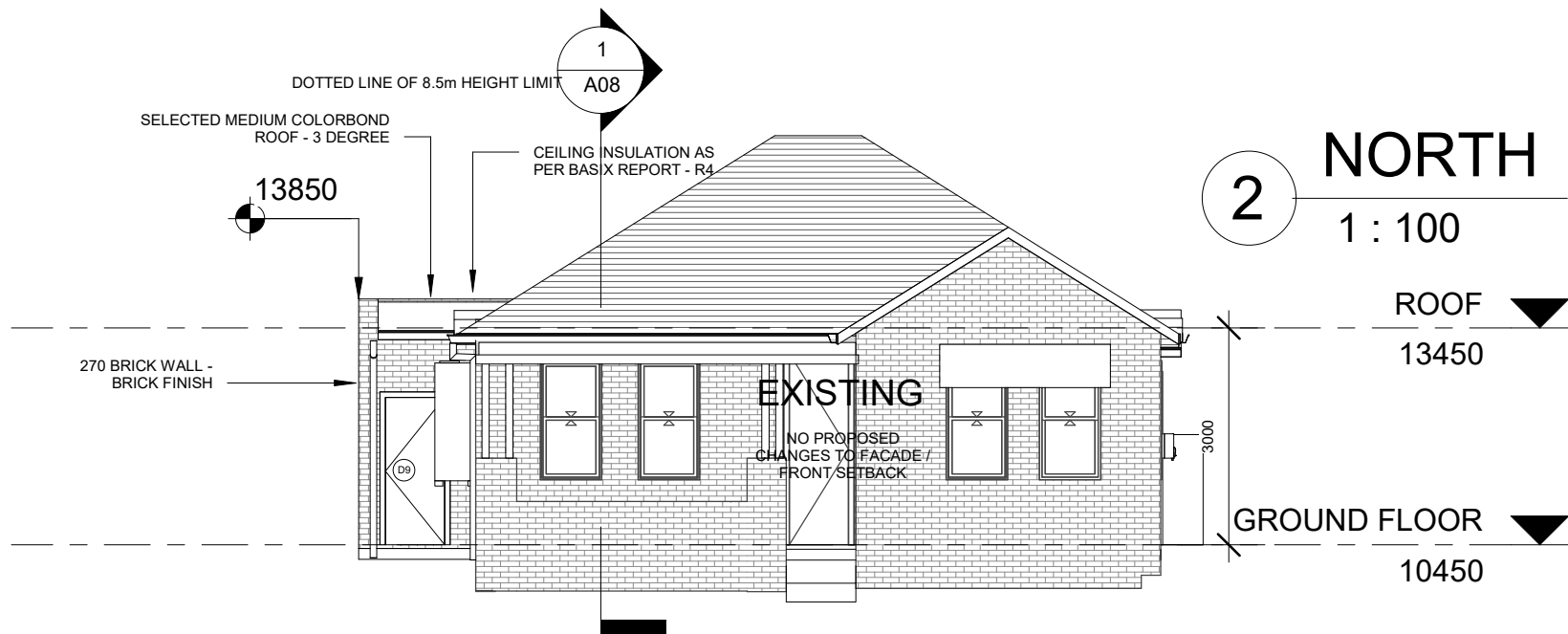
ELEVATIONS 1

A05		
Scale	1 : 100	@ A3
Project number	SYD24/636	
Date	09/10/2024	
Drawn by	NL CONS	
Checked by	N. FARAH	

NOTES:
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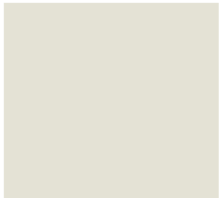
1 SOUTH SEC DWELLING
1 : 100



2 NORTH
1 : 100

SCHEDULE OF FINISHES & MATERIAL

GARAGE - PANEL DOOR -
HORIZONTAL STYLE - SURFMIST



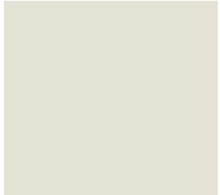
Surfmist*

BLACKHEATH - DARK
FACE BRICK



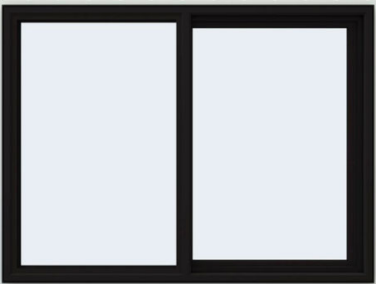
BLACKHEATH*

SURFMIST COLORBOND ROOF

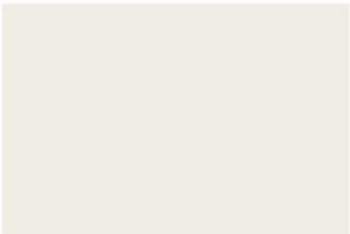


Surfmist*

ALUMINIUM BLACK
WINDOWS & DOORS



RENDERED WALL COLOUR

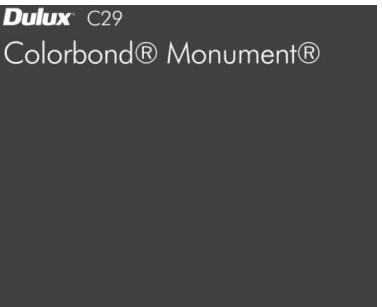


Natural White™

HUME ENTRY DOOR - WHITE FINISH



FACIA, GUTTERS,
CAPPING & DOWNPIPES



FOR DA APPROVAL



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GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED: *Nouhad Farah*

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	09/10/2024

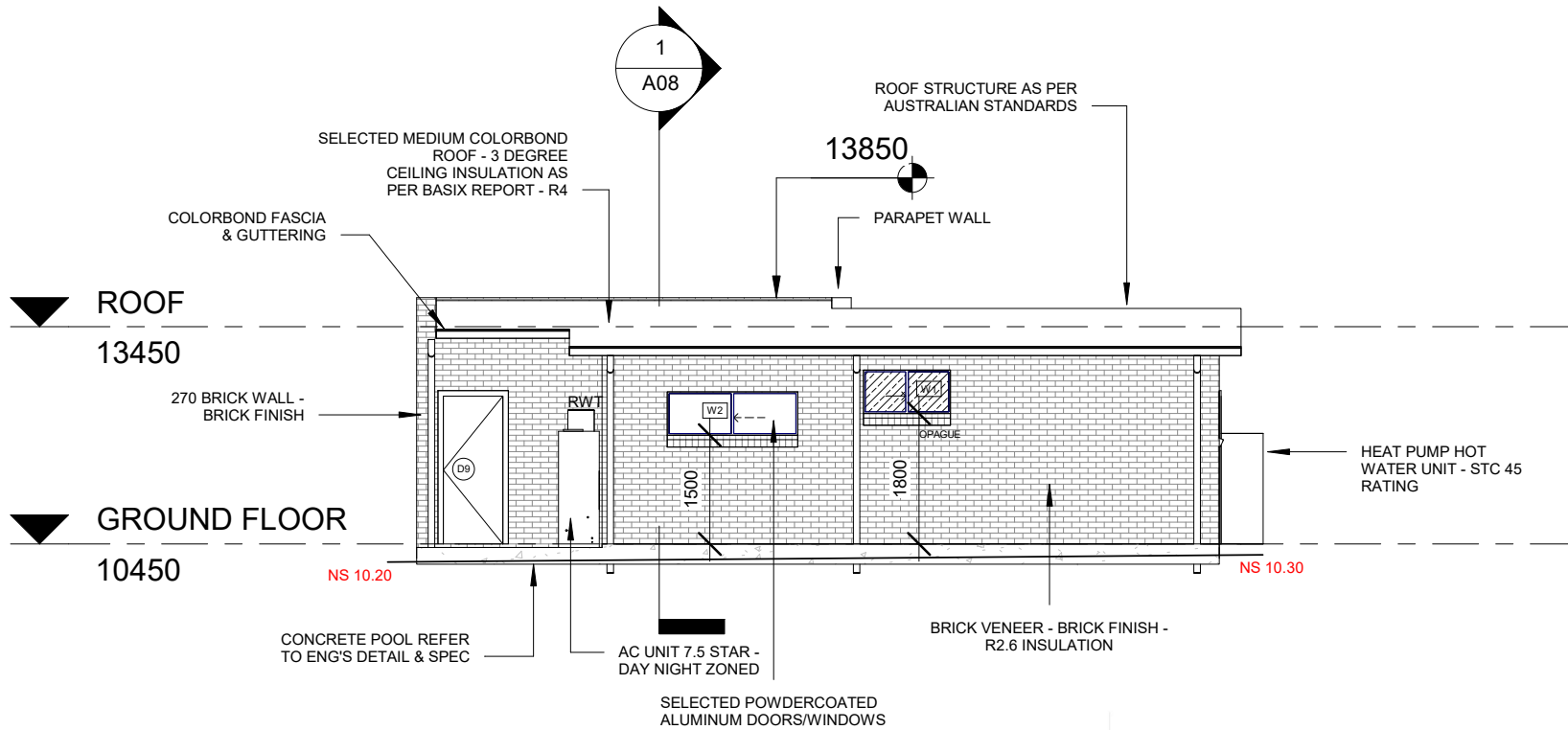
CLIENT: MRS LEY LIM

14 REDMAN STREET, CANTERBURY - PROPOSED
SECONDARY DWELLING & ATTACHED GARAGE

ELEVATION 2 & SCHEDULE OF FINISHES

A06		
Scale	1 : 100	@ A3
Project number	SYD24/636	
Date	09/10/2024	
Drawn by	Author	
Checked by	Checker	

NOTES:
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NORTH SEC DWELLING

1 : 100

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a 'W' in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a 'W' in the "Show on CCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate (completing development certificate for the proposed development).
Commitments identified with a 'W' in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 4.1 to 4.6 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating: in at least 1 living area: 1-phase air conditioning - ducted: Energy rating: 7.5 star (average zone).	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating: in at least 1 bedroom: 1-phase air conditioning - ducted: Energy rating: 7.5 star (average zone).	✓	✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating: in at least 1 living area: 1-phase air conditioning - ducted: Energy rating: 7.5 star (average zone).	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating: in at least 1 bedroom: 1-phase air conditioning - ducted: Energy rating: 7.5 star (average zone).	✓	✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to lapside or roof. Operation control: manual on / timer off.	✓	✓	✓
Kitchen: individual fan, ducted to lapside or roof. Operation control: manual switch on/off.	✓	✓	✓
Laundry: individual fan, ducted to lapside or roof. Operation control: manual switch on/off.	✓	✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	✓	✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.	✓	✓	✓

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
External wall: cavity brick, frame, no frame.	50	0.50 (or 1.20 including construction/fibreglass batts or foil)	nil	and colour: Medium (color absorbance 0.48-0.7)
Internal wall: cavity brick wall: frame, no frame.	15	none	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - R2 treated subfloor.	114	ceiling: 4 (gpi), roof: full sarking ceiling, fibreglass batts or nil, roof: battening.	nil	roof colour: medium (color absorbance 0.48-0.59); ceiling area fully insulated

Note: • Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.

Note: • If the additional ceiling insulation listed in the table above is greater than R1.0, refer to the ABCB Housing Provisions (Part 13.2.2.6) of the National Construction Code.

Note: • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Note: • Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Ceiling line			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (>0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U-values and SHGC must be calculated in accordance with National Federation Rating Council (NFRC) conditions.	✓	✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓
The applicant must ensure that the minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	✓	✓	✓

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W01	600.00	1200.00	aluminium, single glazed (U-value: <=4, SHGC: 0.33 - 0.40)	none	2.4 m high, 2.5 m away
W02	600.00	1800.00	aluminium, single glazed (U-value: <=4, SHGC: 0.33 - 0.40)	none	2.4 m high, 2.5 m away
South facing					

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
West facing					
W04	600.00	1200.00	aluminium, single glazed (U-value: <=4, SHGC: 0.33 - 0.40)	solid overhang: 1400 mm above head of window or glazed door	>4 m high, 5-12 m away
W05	600.00	1800.00	aluminium, single glazed (U-value: <=4, SHGC: 0.33 - 0.40)	none	2.4 m high, 2 m away
W06	600.00	1800.00	aluminium, single glazed (U-value: <=4, SHGC: 0.33 - 0.40)	none	not overshadowed

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 17119545

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/08/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 07 November 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.

NSW

Project summary		
Project name	14 Redman	
Street address	14 REDMAN Street CANTERBURY 2193	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP9446	
Lot no.	25	
Section no.	C	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✓ 46	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 72	Target 68
Materials	✓ -59	Target nil

Certificate Prepared by	
Name / Company Name	Nouhad Farah
ABN (if applicable)	

Description of project

Project address	Assessor details and thermal loads
Project name	14 Redman
Street address	14 REDMAN Street CANTERBURY 2193
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan DP9446
Lot no.	25
Section no.	C
Project type	dwelling house (detached) - secondary dwelling
No. of bedrooms	2
Site details	
Site area (m ²)	524
Roof area (m ²)	114
Conditioned floor area (m ²)	85.0
Unconditioned floor area (m ²)	5.0
Total area of garden and lawn (m ²)	58
Roof area of the existing dwelling (m ²)	103
Number of bedrooms in the existing dwelling	2
Project score	
Water	✓ 46 Target 40
Thermal Performance	✓ Pass Target Pass
Energy	✓ 72 Target 68
Materials	✓ -59 Target nil

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Features			
The applicant must install snowmelters with a minimum rating of 4 star (>4.5 but <= 6 Litres plus spray force and/or coverage total) in all showers in the development.	✓	✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.	✓	✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.	✓	✓	✓
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.	✓	✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 50 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).	✓	✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development.	✓	✓	✓
• the cold water tap that supplies each clothes washer in the development.	✓	✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CCDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mesozone area exceeding 20 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through-receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.	✓	✓	✓

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
Floor - concrete slab on ground, waffle pod slab.	60	None specified	nil	
Garage floor - concrete slab on ground, waffle pod slab.	36	None	nil	
External wall: brick veneer, frame, timber - R2 treated subfloor.	62	2.44 (or 3.00 including construction/fibreglass batts or nil + reflective foil in the cavity)	nil	wall colour: Medium (color absorbance 0.48-0.7)

FOR DA APPROVAL



31B BUCKWALL AVENUE
GREENACRE, NSW 2190

CONTACT: 0434 575 819
NLCONSULTANTS@OUTLOOK.COM

SIGNED: *Nouhad Farah*

NOUHAD FARAH
B.E, MIE AUST, NER, CPENG
MEMBERSHIP NUMBER: 3312640

No.	Description	Date
1.0	ISSUE FOR DA APPROVAL	09/10/2024

CLIENT: MRS LEY LIM

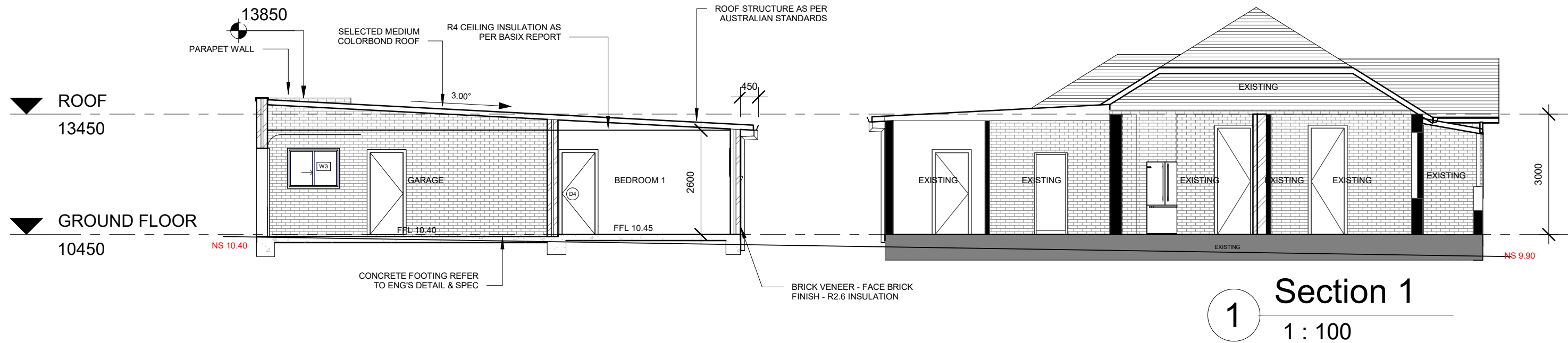
14 REDMAN STREET, CANTERBURY - PROPOSED
SECONDARY DWELLING & ATTACHED GARAGE

ELEVATIONS 3 & BASIX

Scale	1 : 100	@ A3
Project number	SYD24/636	
Date	09/10/2024	
Drawn by	NL CONS	
Checked by	N. FARAH	

NOTES:

1. Do not scale off this drawing. Use dimensions & architectural drawings only.
2. Drawings to be read in conjunction with specification.
3. Levels are indicative only and are to be checked.
4. Authorities mains and or existing services are to be located and checked prior to commencement of any works.
5. The information on this drawing is to be used for site hydraulic and or fire protection services only.
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Door Schedule					
Level	Mark	Height	Width	Finish	Room Name
GROUND FLOOR	D1	2040	820	TIMBER	BED 2 SEC DWELL
GROUND FLOOR	D2	2040	820	TIMBER	BED 2 SEC DWELL
GROUND FLOOR	D3	2150	950	TIMBER	ENTRY SECONDARY DWELLING
GROUND FLOOR	D4	2040	820	TIMBER	BED 1 SEC DWEL
GROUND FLOOR	D5	2040	820	TIMBER	BED 2 SEC DWELL
GROUND FLOOR	D6	2200	2500	METAL PANEL DOOR	GARAGE DOOR
GROUND FLOOR	D7	2040	820	TIMBER	BATH SEC DWELLING
GROUND FLOOR	D8	2200	2500	METAL PANEL DOOR	GARAGE DOOR
GROUND FLOOR	D9	2040	820	TIMBER	GARAGE DOOR
GROUND FLOOR	D10	2040	820	TIMBER	GARAGE DOOR

GROUND FLOOR: 10
Grand total: 10

Window Schedule								
Mark	Window Style	Level	Width	Height	Glazing	Sill Height	Head Height	Material
W1	2 PANEL SLIDING	GROUND FLOOR	1200	600	OPAGUE SINGLE	1800	2400	POWDER COATED ALUMINIUM
W2	2 PANEL SLIDING	GROUND FLOOR	1800	600	STANDARD SINGLE	1500	2100	POWDER COATED ALUMINIUM
W3	2 PANEL SLIDING	GROUND FLOOR	1200	900	STANDARD SINGLE	1200	2100	POWDER COATED ALUMINIUM
W4	2 PANEL SLIDING	GROUND FLOOR	1200	600	STANDARD SINGLE	950	1550	POWDER COATED ALUMINIUM
W5	FIXED	GROUND FLOOR	1800	600	STANDARD SINGLE	950	1550	POWDER COATED ALUMINIUM
W6	2 PANEL SLIDING	GROUND FLOOR	1800	600	STANDARD SINGLE	1500	2100	POWDER COATED ALUMINIUM

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14 REDMAN STREET, CANTERBURY - PROPOSED
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SECTIONS & SCHEDULES

A08		
Scale	1 : 100	@ A3
Project number	SYD24/636	
Date	09/10/2024	
Drawn by	NL CONS	
Checked by	N. FARAH	

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